



Wolf Creek Utah

DESIGN REVIEW BOARD DESIGN GUIDELINES

Primary Contact: Annette Ames
Design Review Board
Coordinator

Address: 3923 N. Wolf Creek Drive
PO Box 658
Eden, Utah 84310

Phone: (801) 745-3737 Ext. 4106

Email: annette@wolfcreekutah.com

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TABLE OF CONTENTS

1. INTRODUCTION AND PURPOSE	1
1.1 Overview and Design Philosophy.....	1
1.2 Community Theme and Character	2
1.3 Site Planning Character.....	2
1.4 Architectural Character.....	2
1.5 Landscape Character	2
1.6 Role of the Design Guidelines	3
1.7 Supporting Documents.....	3
1.8 Design Review Board and Process	3
1.9 Definitions.....	3
2. SITE PLANNING.....	6
2.1 Purpose.....	6
2.2 General Site Planning Principles	6
2.3 Supplemental Building Setbacks	6
2.4 Driveways	6
2.5 Unique Site Features and Existing Vegetation	7
2.6 Grading and Drainage	7
2.7 Berming.....	9
2.8 Slope Requirements	9
2.9 Drainage.....	9
2.10 Limit of Disturbance	9
2.11 Lot Development Criteria	9
2.12 Building Setbacks	10
2.13 Siting, Orientation and Views.....	10
2.14 Site Access, Parking, and Garages.....	10
2.15 Paving	11
2.16 Existing Native Vegetation and Landscape	11
2.17 Enhanced Landscaping	11
2.18 Landscape Maintenance.....	12
2.19 Site Elements and Amenities	12
2.20 Decks and Terraces	12
2.21 Exterior Lighting.....	12
3. ARCHITECTURE	13
3.1 Purpose.....	13
3.2 Building Massing	15
3.3 Upper Floors	16
3.4 Roof Form.....	17
3.5 Roof Pitch	17
3.5 Roof Overhangs, Fascias, and Soffits.....	17
3.7 Building Elevations and Articulation.....	17

3.8	Covered Entryways and Porches	17
3.9	Garage Elevations and Doors.....	18
3.10	Front-Loaded Garages	19
3.11	Windows	20
3.12	Elevated/Walkout Decks.....	20
3.13	Columns and Supports	21
3.14	Chimneys and Gas Fireplaces.....	21
3.15	Skylights	22
3.16	Exterior Building Materials	22
3.17	Roof Materials and Colors	22
3.18	Wall Materials.....	23
3.19	Material/Color Changes	23
3.20	Building Colors	24
3.21	Exterior Lighting.....	25
3.22	Accessory Structures.....	25
3.23	Exterior Building Equipment.....	26
3.24	Gutters and Downspouts.....	26
3.25	Flashing and Sheet Metal.....	26
3.26	Vent Stacks	26
4.	LANDSCAPE.....	27
4.1	Purpose.....	27
4.2	Landscape Design Principles	27
4.3	Water Conservation	28
4.4	Irrigation	28
4.5	Plant Material Setbacks.....	28
4.6	Minimum Plant Material Sizes	28
4.7	Shrub and Flower Beds.....	28
4.8	Rock and Wood Mulch.....	29
4.9	Landscape Grading	29
4.10	Landscape Installation Timing.....	29
4.11	Street Tree-Lawn Landscape	29
4.12	Landscape Transition between Lots.....	30
4.13	Corner Side Yard Landscape	30
4.14	Interior Side and Rear Yard Landscape	30
4.15	Recommended Plant Materials	30
4.16	Landscape Planning for Wildlife	36
4.17	Retaining Walls.....	36
4.18	Temporary Builder Signs.....	37
5.	DESIGN REVIEW PROCESS	38
5.1	Purpose.....	38
5.2	Application Requirements	38
5.3	Review Fees	38
5.4	Pre-Design Meeting	39
5.5	Preliminary Approval.....	39
5.6	Final Approval	39

5.7 Review Standards.....39

6. CONSTRUCTION RULES AND REGULATIONS.....40

6.1 Pre-Construction Meeting.....40

6.2 Notice of Construction.....40

6.3 Construction Observation.....40

6.4 Four-Way Inspection Meeting.....40

6.5 Construction Regulations.....40

6.6 Construction Commencement and Completion Requirements.....42

7. SCHEDULE OF FINES.....43

1. INTRODUCTION AND PURPOSE

1.1 OVERVIEW AND DESIGN PHILOSOPHY

Wolf Creek Utah is a Master Planned Community developed on approximately 2,500 acres in the southern portion of Eden, Utah that has evolved through a careful planning process. Extensive environmental, engineering, planning and architectural studies have been developed for the area, the results of which have been instrumental in the preparation and development of these Design Guidelines (such Design Guidelines, as they may be modified or amended in the future, are hereafter referred to as the “Guidelines”). These Guidelines have been adopted by Wolf Creek Properties, LC, (the “Master Developer”), who is the Declarant under that certain Master Declaration of Covenants, Conditions and Restrictions for the Wolf Creek Utah recorded in October, 1982 in the official records of the Recorder of Weber County, Utah (the “Master Declaration”). Subject to the provisions of the Master Declaration, no activities shall commence on any portion of an Owner’s property in the area until an application for approval has been submitted to and finally approved by the DRB pursuant to these Guidelines.

Site sensitive and site-specific design provides the fundamental criteria at Wolf Creek Utah. All residential designs should evolve thorough the careful analysis of a site’s specific setting and natural features. Therefore, owners, architects, builders and other design professionals are to avoid using a pre-determined or “stock plan” designs and expect to “make it work” with little concern or regard to natural site and area constraints and attributes.

The Design Guidelines have been created to assist Owners, builders and design professionals share in this philosophy and to ensure compatibility with the environment of Wolf Creek Utah. The purpose of the Design Guidelines is not to create buildings that look similar, but to create a harmonious architectural process that is sympathetic to Wolf Creek’s natural environment. The Guidelines are a tool that is intended to protect, enhance and preserve this environment for the future.

It is intended that each residence be specifically designed to the unique features of each individual homesite. The design of each residence must start with a complete and thorough site analysis accounting for the sites topography, view corridors, solar orientation, native landscape and future location of neighboring homes. In addition, consideration is to be given to adjacent homesites and terrain ridgelines. Only after a complete understanding by the design professional of these contextual parameters of the homesite should the architect begin design. Therefore, each residence must address the specific needs of its site. Pre-conceived designs that are suited for other locations are strongly discouraged, “stock plans” not addressing these guidelines are typically rejected by the DRB.

The selection of a qualified architect or design professional sensitive to a comprehensive design process is critical. By doing so, the owner will be able to effectively communicate to the DRB the concepts and design character of the proposed residence. The engagement of less qualified individuals typically results in delays during the review process and costly construction change orders to owners due to incomplete documentation during the final drawing submittal phase.

1.2 COMMUNITY THEME AND CHARACTER

Through an extensive community vision process, the overall design theme and vision for Wolf Creek Utah was established to reflect the site's natural environment and a rustic mountain character that will provide an atmosphere of casual elegance. This vision, which includes specific architectural design, site planning and landscape philosophies, has resulted in specific design standards as established in these Guidelines. They will be interpreted and implemented by the Design Review Board (DRB).

1.3 SITE PLANNING CHARACTER

Wolf Creek Utah is a hillside community which has been designed to promote the goals and comply with the standards of the County by preserving natural vegetation, geologic features, wildlife habitat and open space, while minimizing the amount of grading and earthwork to develop streets and lots. To this end, development will be "clustered" where possible to help preserve the resorts unique natural features and existing vegetation, as well as minimize disturbance of steep or sensitive terrain. Careful attention is to be given to minimize the potential for flooding and erosion, with all design incorporating the natural scenic beauty of the foothills. The same attention is to be given to the revegetation of any disturbed areas.

1.4 ARCHITECTURAL CHARACTER

The architectural character and theme for Wolf Creek Utah reflects a "mountain village" character and western architectural expression. These characteristics are reflected by a commitment to alpine and mountain design styles and philosophies, that demonstrate strong building elements with deep shadow lines; organic roof forms; natural building materials with strong textures; and exterior colors complementary to the natural environment.

Diversity and individuality will be required for homes and development shall conform to the Design Guidelines. These Guidelines are intended to provide a foundation for incorporating these recommended architectural design principles into all homes to create a community that is distinctly Wolf Creek Utah.

The architectural character and surrounding landscape of each residence must be in harmony with the natural setting of Wolf Creek Utah. The development of such starts with a respectful consideration for its natural context and environment.

1.5 LANDSCAPE CHARACTER

The landscape theme for Wolf Creek Utah reflects the natural landscape patterns of the site and its mountain setting, emphasizing the foothill terrain and open meadows that create a unique natural environment for the community.

To emphasize and preserve this natural setting, careful attention must be given to lot edges where homes abut community roadways, common areas, natural open spaces and existing vegetation. The major landscape objective will be to create an informal, natural looking landscape setting that integrates new plantings with existing natural vegetation. Further landscape requirements and philosophies are outlined within this document.

1.6 ROLE OF THE DESIGN GUIDELINES

The purpose of the Design Guidelines is to foster variety and design creativity by architects and builders within the overall context of the Wolf Creek Utah community theme. The Design Guidelines are applicable to all residential development projects within Wolf Creek Utah. The Design Guidelines will also be used by the Design Review Board to determine their relative conformance to the overall design objectives and criteria of Wolf Creek Utah. Pursuant to Section 4.1 of the Master Declaration, these Design Guidelines will not apply to Master Developer's activities, nor will they apply to the activities of the Association during the Class "B" Control Period.

1.7 SUPPORTING DOCUMENTS

The Design Guidelines do not supersede or modify the Master Declaration or any existing applicable Weber County Codes or Regulations. Any requests for variances to the laws, regulations, or standards adopted by the County and State shall be submitted to the appropriate municipal agency according to established procedures following review and approval by the Design Review Board, and written consent from the Master Developer. In the event of conflict or discrepancy, or for subjects not addressed herein, or as part of the Development Agreement and Guidelines, the municipal regulations and codes take precedence and the most restrictive standards shall apply.

1.8 DESIGN REVIEW BOARD AND PROCESS

In order to ensure a consistent, high quality and integrated design theme throughout all phases of Wolf Creek Utah development, the Design Review Board (hereinafter referred to as the DRB) will review and approve all proposed development plans and submittal documents prior to submission to the County. No work may be performed in Wolf Creek Utah without prior approval of the DRB.

The DRB's purpose in plan review is to assure the intent of the Design Guidelines and supporting documents are met. Neither the Master Developer nor the DRB assumes responsibility for plan review of, or conformance to applicable codes or ordinances.

The Design Guidelines are subject to interpretation by the DRB and may be amended from time to time to meet specific site or functional requirements consistent with the objectives of the Design Guidelines, as well as the Development Guidelines, Development Agreement, and the Master Declaration.

1.9 DEFINITIONS

Capitalized terms used but not defined in these Design Guidelines will have the meanings given them in the Master Declaration. When used in this document, the following terms will have the meanings set forth below:

- Applicant – An Owner seeking to construct improvements on its Lot who submits an Application to the DRB.

- Application – The materials an Applicant must submit to the DRB for approval before constructing any improvements on the Applicant’s Lot.
- Builder - Refers to the entity that constructs improvements on a lot for later sale to an Owner.
- Builder/Parcel Program - Refers to the development program and requirements for a specific parcel, including product type, home size, lot size, building setbacks, etc., agreed to between the Builder and the Master Developer.
- CC&R’s - Refers to the Declaration of Covenants, Conditions, and Restrictions for Wolf Creek Utah
- County - Refers to Weber County.
- City Codes and Standards - Refers to all Ordinances, Resolutions, Engineering Standards and Specifications that are officially adopted by the Eden, Utah in Weber County which affect development of the project.
- Collector Street - Refers to the major “Backbone” collector streets, as shown on the Approved Master Plan, which provide the major circulation system within and access to development parcels.
- Common Area - Refers to all real and personal property, including easements, belonging to and maintained by the Master or Sub Association for the common use and enjoyment of the residents.
- Community Fence - Refers to the approved community fence prototypes built along the perimeter of a parcel, along a collector street, common area, or open space/amenity area which are owned and maintained by the Master or a Sub-Association.
- Construction - Any activity pertaining that requires any permit or approval.
- Design Guidelines - Refers to the Design Guidelines which provide architecture and other design criteria for all residential development constructed at, and provide a basis for the decisions and recommendations of the Design Review Board.
- Design Review Board (DRB) - Refers to the Design Review Board established by the Master Declaration authorized to review and approved all development proposals based on the requirements of the Design Guidelines.
- Lot - Refers to an area of land for construction of a home to be held in private ownership. “Lot” includes any Unit, as that term is defined in the Master Declaration.

- Master Association - Refers to the Wolf Creek Utah Master Association, Inc., a Utah nonprofit corporation, its successors or assigns.
- Master Developer - Refers to Wolf Creek Properties, L.C., a Utah limited liability company, its successors or assigns, the developer of, also referred to as “declarant” in the CC&R’s.
- Master Declaration -Refers to the Master Declaration of Covenants, Conditions and Restrictions for Wolf Creek Utah recorded with the Weber County Recorder
- Master Plan - Consists of the Master Land Use Plan, Master Street Plan, Master Trails, Parks and Wildlife Corridor Plan, Master Water Plan, Master Drainage Plan, Master Sewer Plan, and Master Development Agreement and Guidelines, all as approved by the County.
- Owner - Refers to the titleholder of a lot or condominium unit sold by a builder or .
- Parcel - Refers to: (a) an area of land to be further subdivided into lots. (Parcel ceases to be a parcel upon recordation of final plat creating lots); or (b) an area of land to be used for multi-family apartments, public facilities/amenities or commercial uses where no further subdivision is planned.
- Single-Family (Homes and Lots) - Generally refers to detached single-family homesites.
- Village - Refers to a group of builder/development parcels defined by natural site features and open space as determined by the Village Master Plan. These Village areas may also reflect potential development phasing boundaries.
- Visible from Street - Shall mean, with respect to any given object, that such object is or would be visible to a person six feet tall standing on the stated point on the level of the base of the object being viewed.

2. SITE PLANNING

2.1 PURPOSE

The Master Plan contemplates of a series of residential villages with smaller, distinct residential parcels defined by natural topography, views, and ridges and valleys. The villages and parcels are designed to preserve and enhance the site's unique natural features, including its hillside topography, views of the surrounding mountains, natural open spaces, existing vegetation and natural drainage ways.

The site planning guidelines established herein are intended to create a quality living environment to assure land use compatibility with surrounding uses and respond to the natural site features within Wolf Creek Utah. In many cases, the standards for Wolf Creek Utah will be more restrictive than those of Weber County.

For issues not addressed by these Design Guidelines or the Development Guidelines, the County standards shall prevail. In the event of a conflict, the more restrictive standards shall apply.

2.2 GENERAL SITE PLANNING PRINCIPLES

The criteria established herein and in the Development Guidelines, are intended to create a quality living environment for Wolf Creek Utah. The following site planning principles have been integrated into the Master Plan and shall apply to all residential development projects within Wolf Creek Utah:

- Encourage a strong sense of neighborhood identity, visual diversity, and openness;
- Include a street design network and standards which are sensitive and preserve the site's natural topography and hillside terrain; Establish building envelopes and setbacks that provide suitable transitions, separation and privacy for residents;
- Preserve the site's unique natural features and functions; Minimize the potential for flooding and erosion;
- Protect view corridors to and from adjacent parcels and lots;
- Minimize grading and earthwork for streets, parcels and lots.

2.3 SUPPLEMENTAL BUILDING SETBACKS

Owners and Builders are encouraged to stagger building setbacks in order to maximize view corridors and maintain variety in streetscape massing.

2.4 DRIVEWAYS

Driveways shall meet the width and spacing requirements identified in the Development Guidelines. Driveways steeper than a average of 10% will require DRB approval. A single driveway may only access each site. Shared driveways may be considered but must be approved by Weber County and the DRB. Driveway access is to be resolved in the Pre-Design Conference.

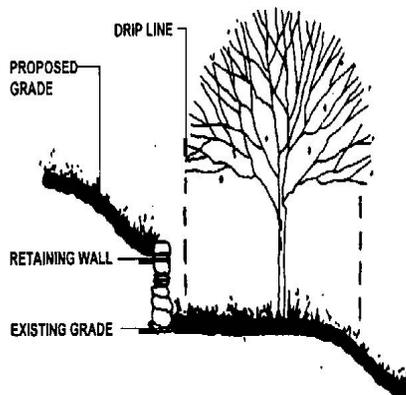
Driveways should be as narrow as possible at the street approach and widen as they approach the building. In addition, the orientation of the driveway in relation to solar orientation in order to minimize snow shedding is to be carefully considered.

2.5 UNIQUE SITE FEATURES AND EXISTING VEGETATION

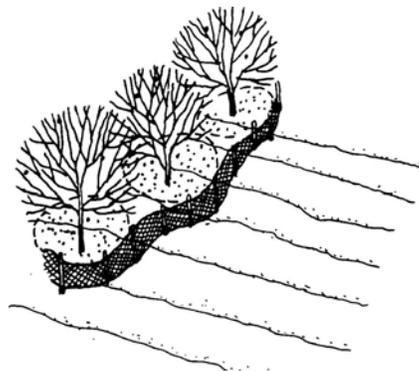
Unique natural site features, including existing vegetation, drainage ways, water features, wetlands, rock outcroppings, and unique topography shall receive special consideration in site planning. Wherever possible, such features shall be left undisturbed and incorporated into the site design.

To the greatest extent possible, existing mature vegetation should be preserved. Trees to be preserved or removed must be identified as part of the site plan. Tree wells or retaining walls should be used in the site design process to protect and preserve desirable trees that might otherwise be destroyed during construction.

Grading shall be avoided within the drip line of any existing trees to be preserved. Temporary fencing should be installed at the drip line to help preserve existing site grades and to protect branches and foliage from damage during construction.



Use tree wells or retaining walls to maintain grade around existing trees to be saved. Leave area inside the drip line undisturbed



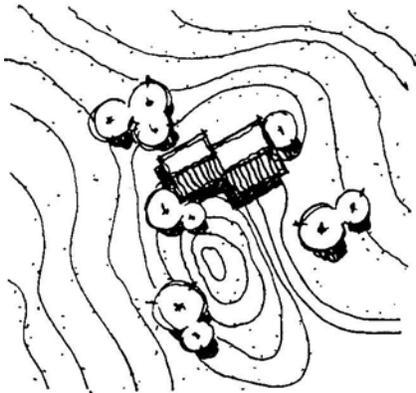
Use construction fencing to protect existing trees

It is of great importance to provide temporary erosion control during construction. To prevent damage to the site and siltation of adjoining areas, use temporary barriers and drainage structures as needed. Erosion in all circumstances is to be controlled.

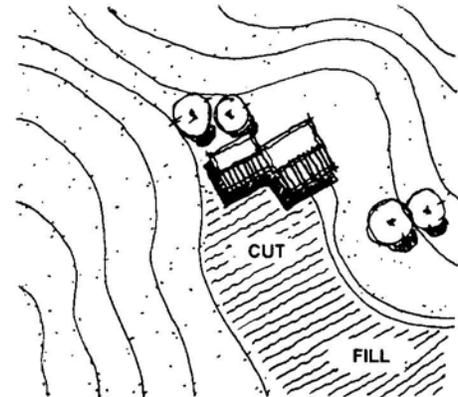
2.6 GRADING AND DRAINAGE

The primary goal of these Design Guidelines is to preserve the site's natural features, including the existing topography and maintain the delicate system of natural drainage ways. Many site improvements that have been made were carefully planned to minimize disruption to the existing ecosystem or alteration to the topography. The street and lot layout has been designed to minimize grading and avoid the primary natural drainage systems. These attitudes and goals must be carried through to all levels of design and construction, including the location of individual home sites.

Excessive grading consequently should not be necessary and is not desirable for sensitive siting of improvements. Compliance with these guidelines will be looked for in the design review process and in the field during construction. Grading shall be designed so that intensive earthwork is minimized. Every attempt must be made to minimize cut and fill necessary for construction of the home. Grading shall respect the natural landforms by producing graceful contours and not sharp angles or abrupt grade changes. Excessive cut and fill, and “engineered” slope banks will be discouraged.

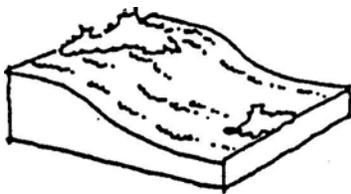


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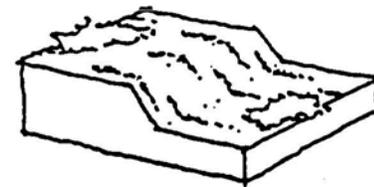


... Not This

Grading shall be used as a tool for integrating buildings into the natural landscape and topography. Structures on sloping sites should be designed to respond to natural site-grades, incorporating “stepped” foundations and walk-out floor plans to minimize grading and site preparation where possible. Lot grading should maintain the existing contours of the terrain, producing graceful contours, not sharp angles.



This ...



... Not This

Lots shall be graded to provide positive drainage away from all buildings and toward internal streets and open space areas. Lot drainage into “off-site” common areas and open space preserves must be approved by the DRB and must be indicated on the site plan. No drainage is to be onto adjacent property lots.

Grading into common areas and open space preserves is prohibited without prior approval of the Master Development. A temporary silt fence shall be installed and maintained at the grading limit line during construction and no grading may occur outside this fence.

The fence shall not be removed until completion of construction. Any damage to areas outside the lot caused by construction activity shall be repaired at the developer or builder’s expense.

2.7 BERMING

Berming may be used to soften the impact of structures as well as to provide screening and spatial separation between adjacent dwellings and other areas. Although the height of berms may vary, side slopes are not to exceed 3:1.

Berming adjacent to common areas and open space preserves is allowed and encouraged. Slopes shall be designed to produce a continuous and rolling appearance, which is consistent with the existing natural topography of the adjacent area, especially natural preserves. All enhanced grading and berming shall be approved by the DRB prior to construction.

2.8 SLOPE REQUIREMENTS

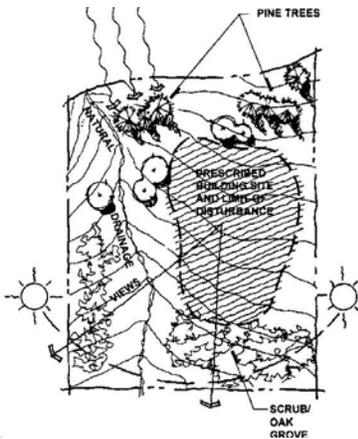
Slopes shall be limited to 3:1 or less. Slopes in excess of 3:1 shall require retaining walls unless otherwise approved by the DRB.

2.9 DRAINAGE

All on-site drainage shall be designed as an attractive site features to blend with the natural environment. Drainage channels shall utilize native stone materials and natural vegetation plantings. The use of hard-lined and rip-rap drainage solutions is prohibited.

2.10 LIMIT OF DISTURBANCE

Limits of disturbance have been indicated for each lot, defining the portion of the lot in which construction, grading, filling, and vegetation removal may occur. No grading or vegetation removal shall take place outside of the approved limits of disturbance. Any revision to these limits of disturbance shall require the review and approval of the DRB and Weber County.



Analysis...



... Design Concept

2.11 LOT DEVELOPMENT CRITERIA

Lot Development Criteria are intended to create an environment which provides for the careful integration and sensitive siting of custom homes and improvements within the site, which is

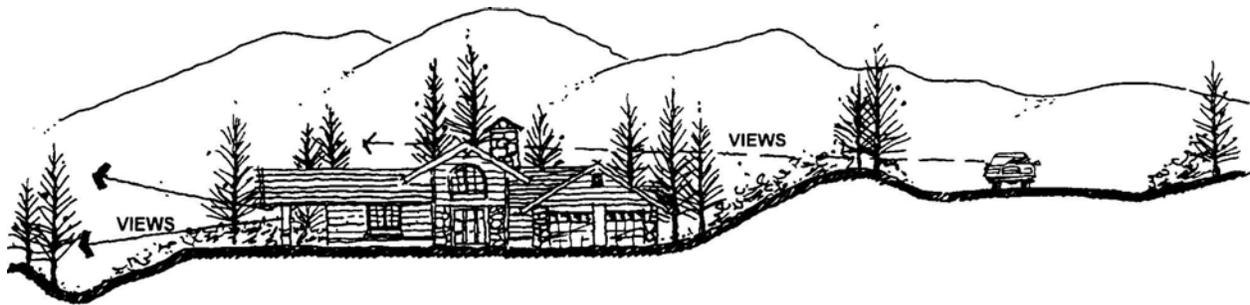
critical to preserving the site's natural feature and functions, views, topography and hillside terrain.

2.12 BUILDING SETBACKS

Building setbacks are established by Weber County and are indicated on the recorded plat.

2.13 SITING, ORIENTATION AND VIEWS

Wolf Creek Utah is set amidst a beautiful high mountain valley environment with differing vistas from all parts of the site. When planning any home, care should be taken to visually use the site's natural features, trees, shrubs, views, solar orientation, etc., to provide filtered and selected views out from each house. At the same time, care should be taken to help screen and filter views back to the house and its service areas.

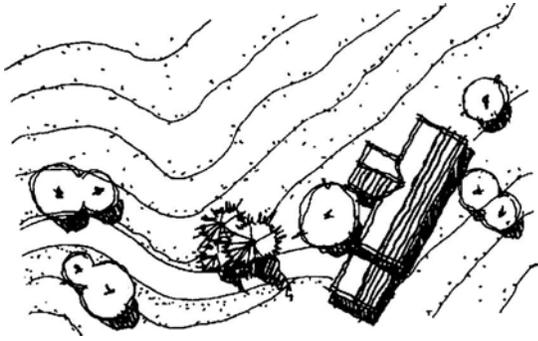


Care is to be taken to visually use the sites natural features to provide views from homes as well as to assist in screening and filtering views back to the house and its service areas. Therefore, the articulation of each elevation of the home is to be considered as a cohesive concept of the whole structure.

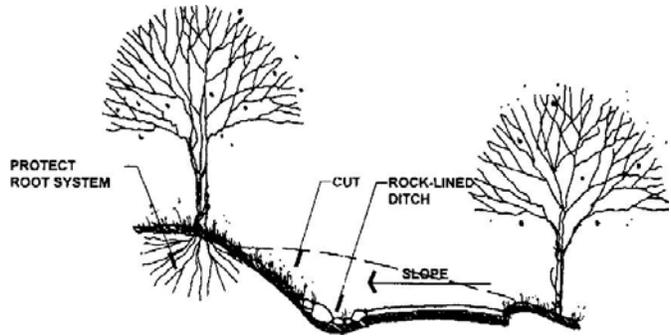
2.14 SITE ACCESS, PARKING, AND GARAGES

Access drives typically have the greatest impact on the site. Consequently, the utmost care is to be given to their planning and design. In general, access drives should be kept as narrow as possible and not exceed a 12 to 15-foot width where they intersect/connect with a public street. Access drives should seek to follow the natural contours of the site, be sensitive to natural site features, including existing vegetation, drainage ways and rock outcrops in their layout and design. Long straight runs, even if possible should be avoided in order to maintain a "natural" appearance. Driveways shall not exceed an average of 10% slope. Driveways exceeding 10% require DRB approval.

Generally, roadbeds "cut" into the slope is preferable to "fill". Roadways should generally drain to rock-lined ditches and culverts on the uphill side. Cut banks should have natural "rolling" character of surrounding terrain and be replanted with native planting materials. Builders should protect the root systems of nearby vegetation to be preserved, and avoid altering existing grades within their drip line as outlined further in this document.



Access drives should follow the natural contours of the site.



Roadbeds "cut" into the site is preferred to fill type solutions.

Conditions of the site may, in some cases, indicate the logic of providing some detached buildings, such as a detached garage. Their design and location in relationship to the house is essential. Where a physical connection in the form of a covered walk occurs, it must have a feeling of being a necessary, integrated part of the main structure - not a "tacked-on" requirement of function. Wherever possible, buildings should be oriented so that the access and parking area is indirect and the garage face and/or parking area do not directly face the public street.

2.15 PAVING

It is the goal of Wolf Creek Utah to limit the impervious cover of the lot to the optimum area commensurate with the needs of access and gracious living. Excessive areas of pavement will be discouraged. Paving materials for driveways, paths, steps, patios and other areas should have a dull, nonreflective surface and color that blends well with the natural surroundings. Driveways are encouraged to be colored concrete, pavers, stamped colored concrete or natural stone. Asphalt paving is permitted, but a minimum 12" wide concrete edge is required to maintain the integrity of the paving. Asphalt thickness and base shall conform to the requirements of the sub-grade conditions.

2.16 EXISTING NATIVE VEGETATION AND LANDSCAPE

The preservation of existing native vegetation is an important goal of these Design Guidelines, and all plans for improvement must respect existing vegetation, especially mature species, to the greatest extent possible. As such, site and landscape plans for DRB review shall identify existing vegetation to be preserved and removed.

Intentional or unintentional removal of, or damage to, any existing vegetation, other than those specifically approved by the DRB for removal, is a violation of the Master Declaration and all appropriate remedies therein will be invoked in such cases.

2.17 ENHANCED LANDSCAPING

To enhance the existing natural landscape, additional vegetation should be provided to compliment the native species and be compatible with the existing natural environmental and ecological conditions. Additional materials should be planted in informal groupings to compliment the existing natural vegetation. Use of xeroscape landscaping principles and concepts is encouraged.

A comprehensive list of compatible plant materials is included in this document, including specific landscaping and planting requirements.

2.18 LANDSCAPE MAINTENANCE

The maintenance of existing native landscaping and additional complimentary plant material shall be done with care to avoid an over manicured appearance. Tall grasses and underbrush around trees and larger shrubs is especially combustible fuel for wild fires and should be removed. The lower deadwood on tree trunks, especially common on larger pines, and Gamble Oak trees, is also a combustible link to grass fire and should be removed. Dead and straggly material can be removed and still maintain a natural appearance.

2.19 SITE ELEMENTS AND AMENITIES

The careful siting and design of all site elements such as decks and lighting, are critical to preserving the site's natural environment. Providing compatibility between the natural and built environment and protecting views from adjacent roads and neighboring properties is essential. General design criteria for these elements are provided below, with additional standards included in other sections of the Design Guidelines.

2.20 DECKS AND TERRACES

Outdoor living spaces will be one of the great pleasures of having a home in Wolf Creek Utah. The natural landscape will influence the choice among on-grade patios, raised or sunken terraces, and elevated decks to provide the best outdoor living spaces. Decks and terraces should be designed so as to be an extension of the architecture while also responding to the surrounding landform. Care should be taken on upper hillside sites to aesthetically consider the undersides of elevated decks and terraces, as well as their surfaces.

2.21 EXTERIOR LIGHTING

Outdoor lighting will be carefully reviewed to assure that neighboring properties are protected from the view of bright light sources. No flood lighting will be permitted and illumination necessary for evening activities must be directed downward. Subtle lighting of architectural or landscape elements is allowed. Similarly, exposed light sources are discouraged in favor of softer down lighting that reduces glare and better illuminate the surfaces of drives, walks, etc. All lighting is to conform to the Ogden Valley Night Sky Ordinance included in this document.

3. ARCHITECTURE

3.1 PURPOSE

This section of the Design Guidelines set forth a high level architectural design quality and variety; promote compatibility within and between residential lots; and set architectural character and form, which together, comprise an essential part of the community's desired image.

All owners, builders and architects and other design professionals are required to understand and apply the design principles established in these Design Guidelines.

The mountain villages of the Rocky Mountain West have produced multiple architectural design principles which have been combined to create special places with a strong sense of community. Although many of these concepts reflect a European influence, there is a strong western flavor to be found in all. Simple yet organic roof forms and materials, straightforward structural aesthetics and a softened sense of scale are characteristic of the 'mountain village' personality.

The objective of the Design Guidelines is to create pleasing and appealing residential structures that are suitable and complementary to the beauty of the mountain setting that is Wolf Creek Utah. In addition, the structures should relate to a human scale with homes designed to not be overwhelming nor overpowering to this environment. There is no one "style" but a unifying principle of design that is to be adhered to. A thoughtful approach to these principles is expected by the DRB of all owners, builders, architects and other design professionals. Anything that is too massive, does not maintain well defined proportions and contextual detailing will not be approved by the DRB.

Key features of these design principles include:

- Low-pitched gable roofs.
- Unenclosed eave overhangs.
- Exposed rafter tails.
- Avoidance of large areas of symmetrical massing.
- Decorative beams and braces usually added under gables.
- Front porches (sometimes side and rear).
- Porch supports that can be supported by square or battered column/bases of appropriate proportions.
- Lap siding with masonry base materials.
- Hip roof forms - engaging gable and clipped hip roofs as accents.
- Masonry bases and wainscots.

- Clean but heavier (built-up) fascias.
- Simple organic building masses with a clear hierarchy of form.
- Materials and detailing which express the structure of the building (timbers, exposed wood trusses, etc.).
- Natural materials and finishes.
- Rusticated or battered masonry bases.
- Interesting and varied streetscape architecture, which de-emphasizes and mitigates the impact of garages. Usable front porches, covered entryways, varied garage orientations and setbacks are important components.
- Articulated building forms, including a combination of single and multiple-story building forms and elements, which provide transitions to individual sites and adjacent houses, as well as a comfortable scale in relationship to human proportions.
- Avoidance of small gables centered on larger gables.

Note: High quality log homes will also be considered on a case-by case basis but are discouraged. Exterior faces of logs are to have a flat face.

These principles have been chosen for their contextual appropriateness with the site and for their neighborhood compatibility. All buildings are encouraged to have a strong expression of these principles.

Strong and compatible design elements and details, which help articulate building forms and add depth, shadows, visual interest, and relief to individual houses and the street scene are essential. Such elements include covered porches and entryways, balconies, roof overhangs, expressive materials, and the articulation of window and door openings.



Articulated building forms include using a combination of single and multiple story building forms



Strong, compatible design elements and details including natural building materials with deep texture enhance the structures character.

Natural building materials with strong textures and natural colors compatible with the surrounding environment, including masonry and siding to provide visual interest, depth, and detail, as well as a desirable “natural” look. Appropriate roof and wall materials and colors are addressed in the following guidelines.

Principles to achieve a scaled and a articulated building include:

- Avoiding large unbroken wall planes and windowless elevations
- Mitigating the impact of garages by integrating them into the building mass and design.
- Varying building footprint and massing locations
- Utilize a variety of architectural elements consistent with the design character of the home by using building elements and mass which appear heavier below and lighter above.

3.2 BUILDING MASSING

In reviewing a proposed home design, careful scrutiny will be given by the DRB to the massing, proportions and overall scale presented.

The placement of a building’s mass and its height should be organized so that it is suited to its lot size and required setbacks, compatible with adjacent structures and scaled in consideration of adjacent buildings. The mass of a house or residential building should also be scaled to reduce its apparent size, provide visual interest and depth, and achieve an articulated form. The following building massing principles shall apply to all residential buildings in Wolf Creek Utah.

- Avoid large, unbroken wall planes on all elevations and in particular windowless elevations. The use of material banding (i.e. masonry bases), bay and box window elements, cantilevers, wall plane off-sets, upper floor setbacks and covered decks and porches are encouraged in order to break up elevations and provide visual interest. These elements will help to negate flat, undesirable building elevations, particularly for homes on rear walkout lots.

- Mitigate the impact of garages by integrating them into the floor plan, building mass, and design of the home. In no case will a garage mass simply be “tacked on” the front of a house. As such, front-loaded garages shall not project more than 15 feet from the main building face.

Recommended techniques to mitigate the impact of garages include:

- Extending the porch or living space beyond the front face of the garage.
- Integrating the garage roof with the home’s main body roof, including similar form, slope and massing.
- Creating and massing a second-story building element, with windows and appropriate detailing within 6-8 ft. of the front face of the garage.
- Using recessed garage doors with heavier and deeper header trim, columns, and other such architectural features to provide shadow lines and depth around garage doors.
- Utilizing some side-loaded garage which present an opportunity for a window feature to the street.
- Exploring tandem layouts, as well as combining front and side loaded orientations, to reduce the impact of 3-car garage elevations.

Building masses are required to step down to lower heights at the perimeter of the structure. Two-story wall massing should be minimized. Proposed structures with more than one level should have different areas in terms of space on each level. The DRB will typically disapprove of structures that are "boxy" due to the massive appearance of homes with similar floor areas on two levels. Small cantilevered areas may be considered, but significant volumes of space over negative spaces must be avoided. Homes that favor the lower floor area will be more successful in meeting the requirement that the lower masses occur toward the outside edges of the home. The DRB will take into account the specific character of both the site and the proposed architectural response. Structure massing will be a significant topic at the required site meeting prior to beginning design.

3.3 UPPER FLOORS

Consideration should be given to the design of upper levels and how these masses will appear from streets, adjacent parcels, or common areas. Variety will be achieved by “moving” upper level orientations and locations. Avoid repetitive forms over garages.

- Utilize a variety of architectural elements including architectural projections such as roof overhangs, bay and box windows, decks, and covered porches, to create depth and shadows.
- Design building elements that are visually more massive or “heavier” below, and those that are less massive and visually “lighter” above. A second story should not appear heavier and have disproportionately greater bulk than that portion of the structure that

supports it. Accordingly, all exterior building elements should be appropriately scaled in size and in relationship to each other.

3.4 ROOF FORM

Roof form is an important contributor to a home's apparent mass and scale. Roof form and design shall be consistent with the basic architectural style of the home. The roofline should create a pleasing relationship to the street when viewed from all directions. It should have a profile and articulation that is adequately broken up to avoid anything that is too boxy. Expansive roof structures are to be articulated with gable or shed type dormers. Asymmetrical roof forms are preferred over those that are symmetrical.

In general, a simple, dominant roof form should be used in conjunction with complimentary, secondary, and minor roof forms and elements. The dominant roof form should generally be oriented from front-to-back in order to lower apparent roof heights and reduce the impacts of high gable roof ends from the street. Gables, dormers, and other smaller roof elements should be proportional to the spaces they cover and to the overall roof sizes and forms.

3.5 ROOF PITCH

The pitch or slope of main body roofs shall be consistent with the selected architectural style and will generally be a minimum four-to twelve (4:12) and a maximum eight-to-twelve (8:12). Steeper or shallower roof pitches will be considered on a case-by-case basis by the DRB.

3.5 ROOF OVERHANGS, FASCIAS, AND SOFFITS

Deeper roof overhangs are required to create visual relief and shadow patterns, provide shade for walls and windows, and help control rain water and snow sliding.

The minimum roof overhang for all main body roofs shall be 24 inches. The roof overhang for secondary roof elements may vary in order to achieve a consistent fascia line. Eaves, fascias and soffits shall be detailed appropriately for the scale and form of the roof structure.

3.7 BUILDING ELEVATIONS AND ARTICULATION

All building elevations shall be well articulated to reduce a "box-like" form and to strongly express the theme of Wolf Creek Utah. All homes are required to maintain consistent articulation on all four elevations.

3.8 COVERED ENTRYWAYS AND PORCHES

A covered entryway compatible with the architectural character of the home is required for the front door on all residences. This may be accomplished by use of a porch, Porte Cochere, second floor overhang, skirt roof, etc. Minimum covered area is 48 square feet with a minimum clear width dimension of 6 feet and an 8-foot depth to create a usable porch area. Porch railing, when utilized, must be compatible with the architecture of the home.

The front entry to the residence should appear dominant over the entry for vehicles, but should not be excessive in height and proportioned to convey a more human scale. The grandeur of

experiencing the entry into the residence should be upon entering the house and not presented on the exterior. Monumental and imposing entries will not be approved.



Covered entries should be single-story and proportioned to the scale of the entry door. Double height entries are not allowed.

Not This ...

Properly designed porches can enhance a people oriented entrance and not the typical vehicle dominated visual presentation. Porches can achieve this enhanced sense of entry without becoming a monumental structure. Wolf Creek Utah often provides exciting views from the front of residences and design elements that take advantage of these opportunities should be explored.

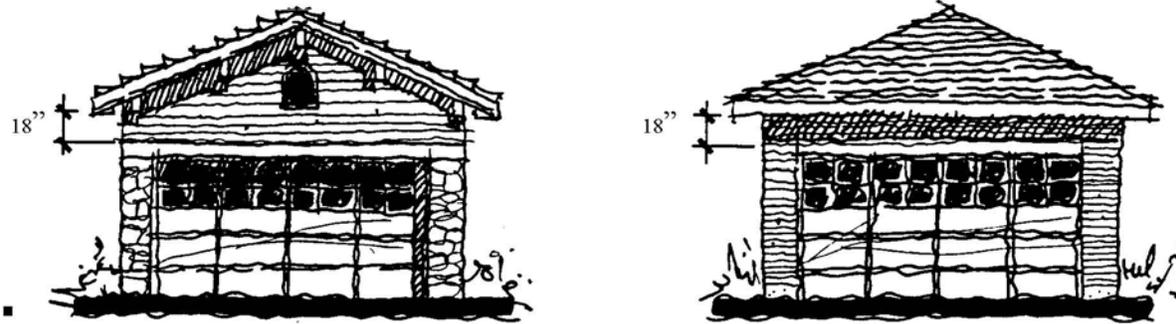
3.9 GARAGE ELEVATIONS AND DOORS

Garage doors are not to dominate the residence when viewed from the street. Submittals with the garage doors being the primary focus will be rejected. Every effort must be made to minimize the potential view of garage doors. Garage elevations and doors shall be an integral part of the design of the home and not dominate the front elevation.

As such, the home design shall incorporate the following methods to diminish the impact of garages:

- Architectural forms, materials, and design details present in the building's elevation, including masonry and windows, shall be incorporated into all garage elevations.
- Single doors with widths no more than 10 feet are encouraged so as to present a smaller scale appearance.
- Garage doors should either be the same color as the body of the house or slightly a darker shade of the same color. They should not be lighter or darker enough to call attention to themselves.
- Large unbroken wall masses above garage doors will not be approved by the DRB.

- Side-loaded garage configurations are strongly encouraged, with access from both the side property line or in front of the main entry where possible.
- Garage doors shall be recessed into the garage elevation a minimum 12-inch depth (which may include the door trim or built-up edge around the door).
- The exposed facade above the garage doors should not exceed 18 inches (as measured from the top of garage trim to the bottom of the roof fascia).



Front-loaded garages shall not project more than 15 feet from the main building face. This may require a separation of the main house roof from the garage roof. Large gable roof ends above a garage should receive additional detailing and articulation, including wall vents/louvers, windows, decorative brackets, or enhanced siding. Vary garage door styles, and make them consistent with the style of the home, using a combination of single and double doors

The width of a front-loaded garage shall not exceed 33% of the width of the front elevation unless approved by the DRB. Height of garage doors are not to exceed 10 feet. Doors taller than 10 feet serving garages for recreational vehicles require DRB approval. Considerable care during design will be required to appropriately integrate doors of this size into the scale and character of the home.

All garage doors shall be sectional roll-up types only. Acceptable materials include manufactured wood, natural wood or metal doors, painted or stained to match the home. Metal doors though acceptable are discouraged. If use of metal doors is considered by the owner, they must be of high quality and articulation of surface.

3.10 FRONT-LOADED GARAGES

Front loaded garages are discouraged. Three-Car garages are required to have offsets between the front face of the double and single bay or door. When Front Loaded garages are unavoidable, the garage doors should be placed further from the street than the façade of the house. Doing so leaves the house as the main focal point of the architecture.

Staggering the front setback of homes in order to enhance the interest and variability of the street scene such that no two homes adjacent to each other have the same garage setback is a desirable strategy. Adjacent garage setbacks should vary by a minimum of 4 ft.

Where homes are setback more than 22 ft. from the street or sidewalk, the driveway shall be necked down to 20 ft. or less at the curb or sidewalk wherever possible.



3.11 WINDOWS

Windows shall be placed to complement the overall building character and scale. Groupings of windows should generally be centered in the building form on which they occur. Windows with distinctive shapes, sizes, or details (such as divided glass, arches, and bays) shall compliment the architectural style of the building. Coordination of the exterior form and the floor plan in regards to windows are critical to avoid windows that merely “float” in a given wall plane and to create a aesthetically pleasing composition. *Appropriate window frame materials include wood and metal clad; vinyl windows, within the Master Subdivisions, will be allowed on a case by case basis after receiving all specifications and a visual inspection of the window has been made by the Board.*

All windows and other openings shall be trimmed with a material appropriate to the style for all elevations. Generally, wood trim shall be a minimum 4-inch trim wrap depending on product type. Windows surrounded by masonry materials such as brick or stone shall be recessed or receive a header and/or sill treatment.

The placement, size and detailing of basement-level windows on walk-out homes should also be consistent with the home’s architectural style and compatible with other windows on the home.

Free-floating windows are to be avoided.

3.12 ELEVATED/WALKOUT DECKS

The design of elevated decks, (located at the main level of a walk-out lot), including their materials and colors, shall be consistent with and complimentary to the main structure and not appear to be “tacked on” to a house. All vertical elements (railings, supports, columns), fascias and overhead structures shall be painted or stained to match the main structure, and not left to weather naturally. Deck posts shall be a minimum of 8 inches in section unless grouped (2 or more posts) or enhanced with a built-up wood or masonry base. The column size and spacing in relation to height is critical to creating proportions that are aesthetically pleasing.

Covered decks are encouraged and should incorporate building and roof forms consistent with the home. Special attention shall be given to stairway construction as it connects from the deck to grade. Running the stairs along the side of the home or adjacent to the deck is encouraged. Stairs shall be constructed of similar materials to the deck and its handrails and supports.

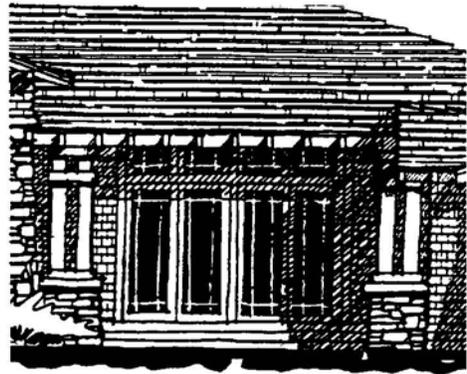
Decks should be designed so that stairs and railings do not conflict with windows, and the form and extent complements the exterior elevation.

3.13 COLUMNS AND SUPPORTS

Columns and supports should appear substantial, and in proportion to the overall building mass. They shall be a minimum of 8 inches in section and may incorporate relief or built-up elements such as top and bottom trim or masonry bases. Grouped columns of 2 or more may be reduced to 6 inches in section and incorporate relief or built-up elements or masonry bases. The character and detailing of columns and railings should be consistent with the architectural character of the building.



This ...



This ...



... Not This

Columns and supports should appear substantial, and in proportion to the overall building mass. Scissor trussed ends are not permitted.

3.14 CHIMNEYS AND GAS FIREPLACES

Masonry is preferred for chimneys and along fireplace exterior building walls. Flue shrouds shall completely screen the vent top or spark arrestors, and compliment the architectural character of the home.



Fireplace box-outs for direct vent gas units shall be consistent with the architectural style and materials of the home and compliment the wall on which they are located. Where possible, fireplace box outs should terminate at the underside of the main roof overhang. Cantilevered box-outs are not allowed. Exhaust ducts are not allowed.

3.15 SKYLIGHTS

Skylights, when provided, shall be integrated with the roof design and parallel to roof pitches. Skylight glazing should be flat and clear, solar bronze, or gray. Bubble skylights and reflective glazing are not permitted. Framing material color shall be copper, bronze, or colored to match the surrounding roof.

3.16 EXTERIOR BUILDING MATERIALS

Exterior building materials have been recommended for use to enhance the theme and quality of the Community. Appropriate selection and organized application of materials is crucial in order to add value and reinforce the architectural character of the house. In general, materials should be of natural materials and blends that are compatible with the natural landscape.

3.17 ROOF MATERIALS AND COLORS

Proper selection of roof materials and colors is an important element in distinguishing the character of the home and should compliment the color scheme of the house. Acceptable roof materials include dimensional and standard composition shingles and concrete tile, slate, wood shake and metal (standing seam) are also acceptable.

- Dimensional Composition Shingles must be a 30-year minimum grade with a dimensional ridge. Blended shingle colors rather than a single color look is encouraged.
- Concrete Tile color and profile of concrete tile should be appropriate to the architectural style. Concrete tile colors shall have an integral flashed finish or be a blend of homogenous colors.
- Natural Wood (Cedar) shakes are to be Fire retardant.

- Metal roof panels are to be non-reflective. Weathered corten steel, copper or terne steel will be allowed. Painted colors are to be in “earth-tones”, bright colors such as red, blue, green, etc. are not allowed. Provisions for snow shedding are to be implemented.

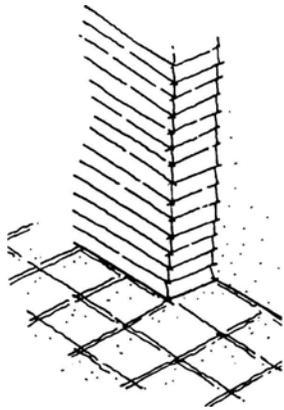
3.18 WALL MATERIALS

The essential requirement is that the material selection and its detailing successfully contribute to the creation of the desired architectural character of the home. As such, multiple wall materials should blend harmoniously with one another and frequent material changes shall be avoided. In general, no more than two dominant materials should be used per home. Materials should wrap architectural elements in their entirety or wrap corners, as appropriate.

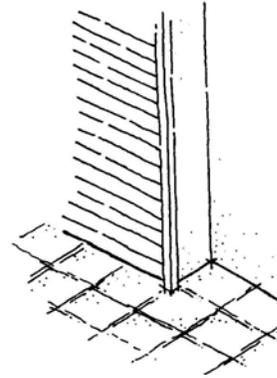
- Stucco: Two coat and three coat applications are acceptable. Stucco finishes should not be heavy and/or irregular. Stucco substitutes, including stuccato board will not be permitted. Warm and neutral, not cool, colors are acceptable. Maximum percentage of stucco on a exterior wall surface excluding windows is not to exceed 30% on any elevation.
- Acceptable wall materials include manufactured and natural wood siding, shingle siding, board and batten siding, stucco (maximum of 30% per elevation), stone, and manufactured stone. Aluminum siding, vinyl siding, brick, reflective materials, unfinished concrete or concrete block are not permitted.
- Manufactured siding shall not be less than an 6-inch lap dimension on all elevations. Grooved plywood is not acceptable.
- Natural wood siding shall not be less than a 6-inch lap dimension and shall be stained in all applications. Board and batten applications are acceptable.
- Shakes or shingles, both natural wood (true cedar) and manufactured shingles will be permitted.

3.19 MATERIAL/COLOR CHANGES

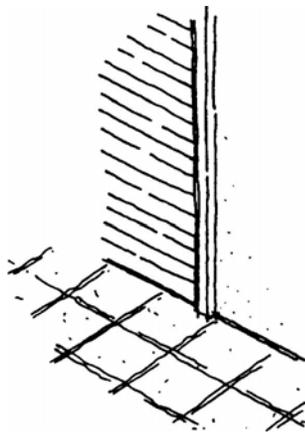
Changes in materials and colors are to occur at change is planes. Material or color changes at outside corners is not permitted.



This ...



... Not This



Not This ...



Not This ...

Masonry elements should appear substantial and be integral to the architecture and not merely an applied feature. Masonry shall wrap columns and other elements in their entirety.

Large mortar joints are not permitted. Stone shapes should be natural with no sharp cuts. Material Changes/Transition Material application are to be considered early in the design process that logical termination points are identified. In general, material changes shall occur at changes in plane or on inside corners. Masonry used to express a building's "base" or to create a wainscot should wrap corners and terminate at a prominent building element on side elevations. The return on outside wall corners is encouraged to completely turn outside corners, but shall be a minimum of 4 feet.

Wall siding materials must be continued to within 6 inches of finished grade on all elevations, with steps not to exceed 12-18 inches for side elevations on walkout conditions.

3.20 BUILDING COLORS

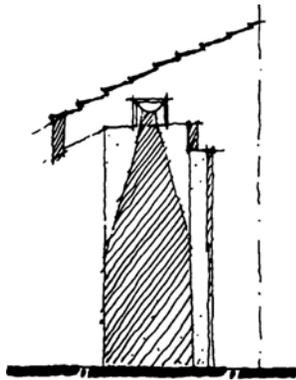
Exterior building colors shall be compatible within individual sites and to adjacent buildings. Enriched, earth-tone colors are encouraged, while bright and pastel colors are not allowed.

Accent colors should be used with discretion. Trim colors should accentuate roof forms, windows, and door openings.

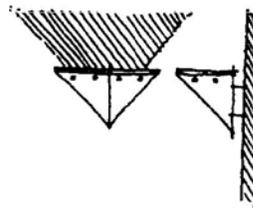
Proposed colors when presented to the DRB must adequately indicate the tones and hues of the proposed color in its final application. Small color samples often do not accurately depict how the color will appear on large expanse of wall or real construction materials. The DRB may require the color be applied to an area of the house prior to approval.

3.21 EXTERIOR LIGHTING

The beauty of the night sky at Wolf Creek Utah will be protected by the judicious use of lighting. The objective is to minimize lighting on the mountain. The unnecessary use of light will therefore be prohibited in the interest of maintaining a quiet nighttime environment. All light sources shall be shielded and directional, discretely illuminating only essential areas. No fluorescent or sodium vapor lighting will be allowed. All lighting must comply with the Ogden Valley Night Sky Ordinance included in Appendix of this document.



Recessed Lighting



Concealed Lighting

All exterior building lighting shall be designed to avoid spilling onto adjacent residences. Decorative building lighting shall be designed to reduce harsh glares by illuminating downward or upward and minimizing lateral effects. Light fixtures with cut-off or concealed light sources are required. This may include wall sconces, recessed lighting, soffit lighting, and directional lighting.

Concealed light sources are preferred. Lighting shall illuminate the entry and pedestrian path from the street. Additional landscaping lighting may be used to augment or provide additional illumination of the home and site, but must not spill onto adjacent residences.

3.22 ACCESSORY STRUCTURES

Accessory structures, such as mailboxes, garden/utility storage sheds, green houses, gazebo's and detached garages (as permitted by zoning), must match the architectural details, color, and materials of the house. Approval of the DRB is required. Pre-manufactured storage structures are not permitted. Consideration to adjacent residence view corridors and siting is a prime concern.

3.23 EXTERIOR BUILDING EQUIPMENT

- ***Mechanical, Electrical, and Communications Equipment.*** All mechanical and electrical equipment, including but not limited to air conditioning condensing units, soft-water tanks, cable television boxes, security apparatus, transformers, telephone boxes, and electric and gas meters, must be integrated into a building's design, screened from public view. Air-conditioning and evaporative cooling units may not be located on roofs, in windows, or mounted on the sides of buildings. All air-conditioning units shall be located at ground level, adjacent to buildings they serve, but away from bedroom walls of adjacent homes, and screened from public view with appropriately detailed wall matching the character of the home.
- ***Antennas and Satellite Systems.*** Television antennae and satellite dishes two feet in diameter or smaller shall be installed at the lowest possible level, screened from public view, and placed in the rear or side yard such that acceptable signal reception is not impaired. Citizen band radio antennae and satellite dishes greater than two feet in diameter are not permitted unless approved by the DRB. Refer to CC&R's for additional information.
- ***Solar Panels and Equipment.*** When solar panels are used, they are to be integrated into roof designs and positioned flush with roof slopes. Frames must be colored to complement roofs to which they are attached. Related plumbing and mechanical equipment must be enclosed and/or screened from view. Refer to CC&R's for additional information.

3.24 GUTTERS AND DOWNSPOUTS

Gutters and downspouts should be integrated into the designs of the home and appear as a continuous architectural element. Drainage solutions should be unobtrusive to the overall building. Downspouts should be located on vertical members in inconspicuous locations. The colors of exposed gutters and downspouts should match those of the surfaces to which they are attached.

3.25 FLASHING AND SHEET METAL

All flashing, sheet metal, vent stacks and pipes shall be colored to match the material to which they are attached or from which they project.

3.26 VENT STACKS

All roof venting for heat equipment, plumbing vents, water heaters and attic venting is strongly encouraged to be incorporated into a chimney. If these elements are not incorporated into a chimney, they must be on the rear side of the roof plane.

4. LANDSCAPE

4.1 PURPOSE

The landscape concept for Wolf Creek Utah reflects the natural landscape patterns of the site and its mountain setting, emphasizing the foothills terrain, open meadows, and Gamble Oak forests that create a unique natural environment for the community.

To emphasize and preserve this natural setting and provide transition between uses, careful attention will be given to parcel edges where homes and lots abut community roadways, common areas, natural open spaces and existing vegetation. A major landscape objective will be to create an informal, natural looking landscape setting that integrates new plantings with existing natural vegetation.

Other major landscape considerations shall include the following:

- Plant materials shall be compatible with the native vegetation and selected based on their adaptability to the physical and climatic characteristics of the site.
- Individual lots shall be landscaped to create a cohesive “flowing” relationship between adjacent lots. Designs emphasizing and delineating lot lines will be discouraged.
- The existing natural vegetation and Gamble Oak forest shall be preserved whenever, and to the greatest extent possible adjacent to and surrounding lot parcel areas.

4.2 LANDSCAPE DESIGN PRINCIPLES

The location and function of plant materials shall be carefully considered when selecting plant materials. Generally, plants should be chosen for one or more of the following functions:

- To provide shade;
- To screen or cover blank walls and exposed foundations (using trees and large and small shrubs);
- To screen accessory structures, equipment, or utilities (using large shrubs and evergreen trees);
- To buffer from noise, wind, or incompatible adjacent uses (using large shrubs and evergreen trees);
- To provide color during all seasons; To create outdoor spaces or “rooms”; For ornamentation or aesthetics;
- To frame views, both interior and exterior;
- To blend with and provide a natural transition to open space preserves and existing natural vegetation

- Consulting a landscape architect, nurseryman, or other landscape and irrigation design professional is required. Submission of a planting plan is required.

4.3 WATER CONSERVATION

Builders, Landscape Architects, other landscape and irrigation professionals and residents are urged to utilize plant materials, irrigation systems, and maintenance practices that conserve water and are drought tolerant.

4.4 IRRIGATION

All irrigation systems shall be designed to minimize over spray and water waste. Overhead spray irrigation is limited to turf and flowering groundcover areas. The recommended minimum width of spray areas is 6 feet. Low angle spray nozzles (15%) are recommended adjacent to paved areas. All other landscape areas should utilize drip irrigation.

4.5 PLANT MATERIAL SETBACKS

Cottonwoods, willows, and other shallow-rooted trees shall not be planted within 15 feet of building foundations, driveways, curbs, or other structures that may be damaged by their vigorous, shallow root system.

Evergreen trees shall not be planted within 8 feet of any roadway, sidewalk or building entrance where their mature size may obstruct access and/or visibility. Neither shall they be placed within site visibility triangles at intersections. Evergreen trees shall not be located where their shadow may cause icing on paved surfaces.

4.6 MINIMUM PLANT MATERIAL SIZES

The following minimum sizes for plant materials shall apply to all landscaping:

- Deciduous Trees: 15 gallon
- Evergreen Trees: 6-foot height
- Ornamental Trees: 15 gallon
- Shrubs: 5-gallon container

The sizes of additional plant materials, above the minimum quantity may be selected at homeowner's or builder's discretion.

4.7 SHRUB AND FLOWER BEDS

To encourage weed mitigation, shrub beds should be mulched with either rock or wood mulch. Generally, perennial and annual flowerbeds should be mulched with wood mulch to cover any bare ground.

4.8 ROCK AND WOOD MULCH

Generally, the same type and color of rock mulch is encouraged to be used between adjacent houses or structures to unify the street scene. The use of two different colors of rock mulch in the same bed is not allowed. Rock mulch larger than 3/4-inch diameter is not allowed, except for drainage and accent areas. Wood mulch shall be of high quality (including clean material and consistent size).

4.9 LANDSCAPE GRADING

Planting and hardscape areas shall not impede or significantly alter drainage patterns. Lot grading should produce graceful contours, not sharp angles or abrupt grade changes. Smooth transitions, which respect the existing natural landforms, shall be made between individual lots and parcel edges, common areas and natural open spaces.

4.10 LANDSCAPE INSTALLATION TIMING

All landscaping and irrigation shall be installed according to the following schedule:

- Front and corner side yard (including street “tree-lawn”) landscaping shall be installed within 180 days of closing to a homeowner, weather permitting.
- Rear and side yard landscaping when visible from streets shall be installed within 180 days of closing to a homeowner, weather permitting.
- Interior side and rear yard landscaping shall be installed within one year of closing to a homeowner, weather permitting.

4.11 STREET TREE-LAWN LANDSCAPE

Where the street design includes a detached sidewalk creating a tree lawn zone (landscape area between the back of the curb and the detached walk), the following minimum landscape requirements shall apply:

- A minimum of 1 street tree shall be planted within the front yard tree-lawn of the lot. A maximum of 1 of these trees may be applied from the minimum front yard-planting requirement.
- Street trees shall be selected from the list of deciduous trees on the Recommended Plant Materials List.
- Street tree-lawns shall be planted with grass and irrigated. Rock or wood mulch is not permitted in this area. In natural lot areas or where native vegetation is maintained, this requirement is waived.
- The placement of street trees along the street frontage should be carefully considered in relation to individual homes and lots, as well as the overall streetscape.

- Street trees on corner lots should be located outside corner sight visibility triangles. Refer to Exhibit 4-i3.
- Street trees should be located away from driveway entrances so as not to abstract or block the view of oncoming traffic. Refer to Exhibit 4-B.
- For tree-lawns of uniform width, street trees should be centered in the tree lawn between the back of curb and sidewalk. Refer to Exhibit 4-B.

4.12 LANDSCAPE TRANSITION BETWEEN LOTS

Front yard landscaping between adjacent homes and lots should provide a cohesive and flowing relationship along the street scene. As such, tree and shrub massing should blend together, when possible. Formal plantings and hard edges, such as mow strips, edging and walls between lots should be minimized.

Where mulch areas abut one another, a single, unified planting bed with a consistent edge line should be considered for both yards. One type and color of rock mulch should, be used throughout the entire planting bed. Two different types or colors of rock mulch in the same planting bed between lots should be avoided.

4.13 CORNER SIDE YARD LANDSCAPE

In addition to the front yard planting requirements, corner side yards (adjacent to a street) shall be fully landscaped and irrigated according to the following requirements:

- The ground area of side yards shall have a minimum of 70% living plant material coverage, including shrubs, ground covers, and turf.
- Shrubs should be planted in such fashion as to screen any exposed house foundation.

4.14 INTERIOR SIDE AND REAR YARD LANDSCAPE

The design solution and plant selection should be consistent with and compliment the overall landscape concept for the lot, provide a cohesive and flowing relationship with adjacent homes and lots, and blend with surroundings common and natural areas.

4.15 RECOMMENDED PLANT MATERIALS

A palette of plant materials has been established for use in Wolf Creek Utah. The recommended plant materials have been selected based on their compatibility with the site's native vegetation and adaptability to the physical and climatic characteristics of the area. Plants not on this list must be submitted to the DRB for approval. In addition to trees and shrubs, native grasses and perennial wildflowers shall be integrated into the landscape design for all development projects and parcels.

DECIDUOUS TREES

Common Name	Botanical Name	Water Requirement*	Maintenance Requirement*	Street Tree	Remarks
Norway Maple	Acer platanoides-(3)	M	L	Yes	Good fall color (yellow)
Red Maple	Acer rubrum	M	L	Yes	Good (yellow, to red) fall color. Verify soil conditions
Sugar Maple	Acer saccharum	H	L	Yes	Verify soil conditions
Silver Maple	Acer saccharinum	H	M	Yes	
Ohio Buckeye	Aesculus glabra	M	L	Yes	Poisonous seeds, good fall color
Native Riverbirch	Betula fontinalis	H	L	No	
Western Red Birch	Betula occidentalis fontinalis	H	M	No	
Western Hackberry	Celtis occidentalis	M	L	Yes	
Autumn Purple Ash	Fraxinus americana 'Autumn Purple'	M	L	Yes	Good fall color (yellow to red)
Patmore Ash	Fraxinus pennsylvanica lanceolata 'Patmore'	M	L	Yes	Good fall color (yellow)
Honeylocust	Gleditsia triacanthos inermis (3)	M	L	Yes	
Bur Oak	Quercus macrocarpa	M	L	Yes	Verify soil conditions
Pin Oak	Quercus palustris	M	L	Yes	Good fall color (bronze to red) Verify soil conditions
English Oak	Quercus robur	M	L	Yes	Good fall color. Verify soil conditions
Northern Red Oak	Quercus rubra borealis	M	L	Yes	Verify soil conditions
American Linden	Tilia americana	M	L	Yes	
Little Leaf Linden	Tilia cordata	M	L	Yes	
Redmond Linden	Tilia euchlora 'Redmond'	M	L	Yes	

Protection from deer for evergreens in winter is recommended, particular during heavy winters.

ORNAMENTAL TREES

Common Name	Botanical Name	Water Requirement*	Maintenance Requirement*	Remarks
Amur Maple	<i>Acer ginnala</i>	M	L	Good fall color (orange to red)
Big Tooth Maple	<i>Acer grandidentatum</i>	M	L	
Shadblow Serviceberry	<i>Amelanchier canadensis</i>	M	L	Nice fall color (yellow to red)
Thornless Cockspur Hawthorn	<i>Crataegus crus-galli inermis</i>	L	L	Thornless, good fall color (orange to red)
Paul's Scarlet Hawthorn	<i>Crataegus laevigata 'Pauli'</i>	L	L	
Downy Hawthorn	<i>Crataegus mollis</i>	L	L	
Washington Hawthorne	<i>Crataegus phaenopyrum</i>	M	L	Good fall color (red)
Golden Raintree	<i>Koelreuteria paniculata</i>	M	L	Showy flowers
Flowering Crab	<i>Malus</i> varieties (3)	L-M	M	Deer consumption problem.
Aspen	<i>Populus tremuloides</i>	M	H	Best used in protected areas
Wild Plum	<i>Prunus americana</i>	L	M	Suckers
Newport Purple Plum	<i>Prunus cerasifera 'Newport'</i>	M	L	Red-purple foliage
Shubert Chokecherry	<i>Prunus virginiana</i>	M	L	Red-purple foliage
Peking Lilac	<i>Syringa pekinesis</i>	M	M	Showy flowers
Japanese Tree Lilac	<i>Syringa reticulata</i>	L-M	L	Showy flowers, good fall color (yellow)
European Mountain Ash	<i>Sorbus aucuparia</i>	L	M	

DECIDUOUS SHRUBS

Common Name	Botanical Name	Water Requirements*	Maintenance Requirements*	Remarks
Thin Leaf Alder	<i>Alnus tenuifolia</i>	M	L	Nice fall color (yellow)
Serviceberry	<i>Amelanchier alnifolia</i>	L	L	Nice fall color
Chokeberry Sagebrush	<i>Aronia melanocarpa</i> <i>Artemisia</i> (3)	H L	M L	Suckers, good fall color (red)
Four Wing Saltbush	<i>Atriplex canescens</i>	L	M	
Korean Barberry	<i>Berberis koreana</i>	M	M	Thorns
Mentor Barberry	<i>Berberis mentorensis</i>	M	M	Thorns, good fall color (yellow to red)
Redleaf Japanese Barberry	<i>Berberis thunbergii atropurpurea</i>	M	M	Thorns
Green Japanese Barberry	<i>Berberis thunbergii</i>	M	M	Thorns
Blue Mist Spirea	<i>Caryopteris x clandonensis</i>	L	L	
Curleaf Mountain Mahogany	<i>Cercocarpus ledifolius</i>	L	M	
Mountain Mahogany	<i>Cercocarpus montanus</i>	L	M	
Quince	<i>Chaenomeles slop.</i>	M	M	Showy flowers
Rabbit Brush	<i>Chrysothamnus nauseosus</i>	L	M	
Variegated Dogwood	<i>Cornus alba bariegata</i>	M-H	M	
Colorado Redosier Dogwood	<i>Cornus sericea coloradense</i> (3)	M-H	M	Colored twigs provide nice winter color
Yellowtwig Dogwood	<i>Cornus sericea flaviramea</i> (3)	M-H	M	Colored twigs provide nice winter color
Kelsey Dwarf Dogwood	<i>Cornus sericea kelseyi</i>	M	M	
Redtwig Dogwood	<i>Cornus stolonifera</i>	M-H	M	Colored twigs provide nice winter color
Cranberry Cotoneaster	<i>Cotoneaster apiculata</i>	M	M	
Spreading Cotoneaster	<i>Cotoneaster divaricata</i>	M	M	
Rock Cotoneaster	<i>Cotoneaster horizontalis</i>	M	M	
Peking Cotoneaster	<i>Cotoneaster lucidus</i>	M	M	
Silverberry	<i>Eleagnus commutata</i>	M	M	
Burning Bush	<i>Euonymus alata</i> (3)	M	M	Deer protection recommended.
New Mexico Privet	<i>Forestiera neomexicana</i>	M	M	
Forsythia	<i>Forsythia intermedia</i>	M	M	Showy flowers
Honeysuckle	<i>Lonicera</i> (3)	M	M	

Common Name	Botanical Name	Water Requirements*	Maintenance Requirements*	Remarks
Mockorange	Philadelphus (3)	L-M	M	
Mountain Ninebark	Physocarpus monogynus	M	M	
Potentilla	Potentilla fruticosa (3)	M	M	Showy flowers
Sandcherry	Prunus besseyi	M	M	
Cistena Plum	Prunus cistena	M	M	
Native Chokecherry	Prunus virginiana melanocarpa	L-M	M	
Scrub Oak	Quercus gambelii	L	L	
Tallhedge Buckthorn	Rhamnus frangula columnaris	M	M	
Smooth Sumac	Rhus glabra	L	M	Nice fall color (orange to red)
Threeleaf Sumac	Rhus tribata	L	M	Nice fall color (orange to red)
Staghorn Sumac	Rhus typhina	L	M	
Alpine Currant	Ribes alpinum	L-M	M	
Golden Currant	Ribes aureum	L-M	M	
Coyote Willow	Salix exigua	M-H	M-H	Best in moist areas
Bluestem Willow	Salix irrorata	M-H	M-H	
Dwarf Willow	Salix purpurea nana	M-H	M-H	
Arctic Willow	Salix purpurea	M-H	M-H	
Elder	Sambucus canadensis	M-H	M	
Buffaloberry	Shepherdia argentea	L	M	
Spiraea	Spiraea (3)	M	M	
Snowberry	Symphoricarpos albus	M	M	
Lilac	Syringa (3)	M	M	
Viburnum	Viburnum (3)	L-M	M	Nice fall color (varies)
Privet	Vulgare (3)	M	M	

Common Name	Botanical Name	Water Requirement*	Maintenance Requirement*	Remarks
White Fir	Abies concolor	M-H		Dwarf size recommended
Oneseed Juniper	Juniperus monosperma	L	L	Dwarf size recommended
Rocky Mountain Juniper	Juniperus scopulorum 'Varieties'	L-M	L	Dwarf size recommended
Red Cedar	Juniperus virginiana 'Varieties'	M	L	Dwarf size recommended
Black Hills Spruce	Picea gaucha densata	M-H	L	Dwarf size recommended
Colorado Blue Spruce	Picea pungens 'Glauca'	M-H	L	Dwarf size recommended
Colorado Green Spruce	Picea pungens	M	L	Dwarf size recommended
Bristlecone Pine	Pinus aristata	L-M	L	Dwarf size recommended
Pinon Pine	Pinus edulis	L-M	L	Dwarf size recommended
Limber Pine	Pinus flexilis	L-M	L	Dwarf size recommended
Swiss Mountain Pine	Pinus mugo	L-M	L	Dwarf size recommended
Austrian Pine	Pinus nigra	L-V	L	Dwarf size recommended
Ponderosa Pine	Pinus ponderosa	L	L	Dwarf size recommended
Southwestern White Pine	Pinus strobiformis	L-M	L	Dwarf size recommended
Scotch Pine	Pinus sylvestris	L-M	L	Dwarf size recommended
Douglas Fir	Pseudotsuga menziesii 'Taxifolia'	M	L	Dwarf size recommended

Protection in winter recommended from deer for evergreens, in particular during heavy winters.

EVERGREEN SHRUBS

Common Name	Botanical Name	Water Requirements	Maintenance Requirements	Remarks
Euonymus Sarcocoe	Euonymus fortunei 'Sarcocoe'	M	M	Deer protection recommended
Bigleaf Wintercreeper	Euonymus fortunei vegeta	M	M	
Euonymus Manhattan	Euonymus kiautschovicus 'Manhattan'			
Juniper	Juniperus sp. (3)	L-M	L	
Oregongrape	Mahonia aquifolium	M	M	Nice fall colors (red to purple)

Dwarf Mugo Pine	Pinus mugo mugus	M	L	Deer protection recommended.
Gnome Firethorn	Pyracantha angustifolia 'Gnome'	M	M	Nice fall/winter colors (red to purple) Deer protection recommended.
Firethorn	Pyracantha coccinea (3)	M	M	
Yew	Taxus media			Deer protection recommended.
Dense Japanese Yew	Taxus cuspidata 'Densifomis'			

*Note: Water and Maintenance Requirements - This information is provided as a general guide to aid in the selection and grouping of similar plant materials based on their general water and maintenance requirements.

PERENNIALS, GROUND COVERS AND ORNAMENTAL GRASSES

Due to the large quantity, variety, and changing availability of these plants, please consult your local nursery (preferably a Utah Green Association). Height, color, texture, moisture, light requirement, and heartiness need to be considered when specifying these plants.

4.16 LANDSCAPE PLANNING FOR WILDLIFE

In addition to the list of recommended plant materials, plant material selection should also consider the potential impact by wildlife and minimizing browsing damage by deer, which utilize much of the site and foothills region, especially in winter months. An article on the subject of minimizing browsing damage by deer, which includes a list of plant materials and their susceptibility to deer browsing is included.

4.17 RETAINING WALLS

Retaining walls adjacent to, or visible from, any street or common area shall be constructed of materials compatible with the surrounding architecture and other streetscape elements. Such walls should be aesthetically pleasing and offer other potential uses, such as planting and seating areas. Walls requiring a poured concrete foundation must be designed by a registered engineer.

- Retaining walls shall not exceed 6 feet in height. Grade changes requiring walls in excess of this height, shall be terraced, except as approved by the DRB. A 3-foot horizontal separation is required for walls up to 4 feet in height, while a 4-foot separation is required for walls up to 6 feet in height. Retaining walls over 4 feet in height are required to be engineered by a professional engineer licensed in the State of Utah as required by Weber County.
- Walls must be setback a minimum of 4 feet from a public Right of Way or property line or 2 feet from the back of a sidewalk, whichever is greater. Retaining walls located along a side yard lot-line may not exceed 2 feet in height within the front yard setback and must terminate a minimum of 5 feet from the front property line.

- Shrubs or trees shall be used to break up the mass of any exposed wall face visible from a street or common area.
- Acceptable materials for retaining walls visible from the street or common areas shall include: natural or manufactured stone. Textured and split-face concrete block, high quality wood timbers, and other materials consistent with the architectural character of the home or structure will be considered on a case-by-case basis by the DRB.

4.18 TEMPORARY BUILDER SIGNS

All Temporary Builder Signs shall be designed, constructed and maintained in a first class condition by the builder or parcel developer. The total sign size cannot exceed 16 square feet, and a 4ft. by 4 ft sign is encouraged. The design statement shall reflect a consistent format and style compatible with the project's architecture. The design and location of all such signs must be approved by the DRB.

5. DESIGN REVIEW PROCESS

5.1 PURPOSE

In order to ensure a consistent, high quality and integrated design throughout all phases of development within the Resort, and to provide a level of comfort for residents during construction activity, all proposed improvements in the Resort must be reviewed and approved by the DRB in accordance with the procedures set forth in this Section. Any field changes must be approved by the DRB prior to construction. **No activities shall commence on any portion of an Owner's property until an application for approval has been submitted to and finally approved by the DRB.**

5.2 APPLICATION REQUIREMENTS

Owners, design professionals, and builders are required to carefully read and understand these Design Guidelines. Each Owner desiring to construct improvements within the Resort must submit an Application to the DRB in accordance with these Design Guidelines. The attached Application Checklist outlines the general requirements for each Application. The DRB may also require an Applicant to submit such additional information as the DRB deems necessary to consider an Application. The DRB may also waive certain Application requirements depending on the nature of the proposed improvements. All plans and drawings must be prepared by a licensed architect or otherwise **qualified** design professional. Any Application that is deemed incomplete or illegible will be returned to the Applicant unreviewed.

5.3 REVIEW FEES

The DRB will assess a nonrefundable fee to cover the reasonable cost of reviewing an Application, including the reasonable cost of hiring architects, engineers, or other professionals to review the Application. **Currently, the review fee is \$2,500, due at the time the Application is first submitted to the DRB. The DRB will charge the Applicant an additional \$500 when the Applicant submits the Application for the third time (that is, resubmits the Application more than once in response to a disapproval by the DRB). An Applicant will also be required to submit a security deposit in the amount of \$5,000 to ensure that the Applicant and its design professionals, builders, contractors, agents, and representatives comply with the Master Declaration and these Design Guidelines.** The DRB will have the discretion to impose a smaller security deposit for projects whose total estimated construction value is less than \$50,000. The security deposit will be nonrefundable unless the Applicant fully complies with the Master Declaration and these Design Guidelines. The DRB may also, at its option, apply the security deposit to the cost incurred by the DRB in correcting an Applicant's violation of these Design Guidelines, or to the cost of any other damages suffered by the DRB or the Association on account of the violation. The DRB will return the security deposit (without interest) to the Applicant upon satisfactory completion of construction, if the Applicant has fully complied with the Master Declaration and these Design Guidelines. The security deposit may be commingled with the Association's general funds. The DRB may refuse to review an Application until the review fee or security deposit is paid. The DRB may reasonably increase the amount of the review fee or the security deposit at any time to account for increasing costs.

5.4 PRE-DESIGN MEETING

Before submitting an Application, the Owner or its design professional must contact the DRB to schedule a pre-design meeting, and the **Owner and its design professionals** must attend the pre-design meeting with a DRB representative at the Lot. The purpose of this meeting is to review these Design Guidelines, clarify the requirements of the Application, and discuss any unique conditions and opportunities of the Lot. The DRB may reject any Application if the Owner and its design professionals fail to attend the pre-design meeting.

5.5 PRELIMINARY APPROVAL

After the pre-design meeting, the Owner must submit an Application (as well as the review fee and the security deposit) for preliminary review and approval. The DRB may: (a) preliminarily approve the Application, (b) preliminarily approve the Application subject to certain conditions, (c) preliminarily approve portions of the Application while disapproving other portions, or (d) disapprove the Application. Preliminary approval of the Application will not vest any right in the Applicant to make any of the proposed improvements.

5.6 FINAL APPROVAL

After receiving preliminary approval of the Application, the Applicant shall submit the Application for final approval. The DRB will make a final determination the Application within 30 days after the Application has been completely submitted in accordance with these Design Guidelines. The DRB may: (a) approve the Application, (b) approve the Application subject to certain conditions, (c) approve portions of the Application and disapprove other portions, or (d) disapprove the Application. All conditions set forth in the preliminary approval of the Application must be fulfilled to the DRB's satisfaction before final approval will be granted. If the DRB fails to make a determination on an Application for final approval within the 30-day period, the Application will be deemed approved by the DRB. Any approval decision by the DRB is subject to review and approval by the Master Developer under the Master Declaration.

5.7 REVIEW STANDARDS

The DRB will review each Application to determine whether it is consistent with the overall community vision and standards, and to ensure that it complies with the Master Declaration, the applicable Neighborhood Declaration, and these Design Guidelines. Neither the Master Developer nor the DRB assumes responsibility for ensuring that the plans conform to County requirements. The Design Guidelines are not the exclusive basis for decisions of the DRB and compliance with the Design Guidelines does not guarantee approval of any Application. Decisions may be based on purely aesthetic considerations. By submitting its Application, each Owner acknowledges that determinations as to such matters are purely subjective and opinions may vary as to the desirability and/or attractiveness of particular improvements. The DRB shall have the sole discretion to make final, conclusive and binding determinations on matters of aesthetic judgment and such determinations shall not be subject to review so long as made in good faith and in accordance with the procedures herein.

6. CONSTRUCTION RULES AND REGULATIONS

6.1 PRE-CONSTRUCTION MEETING

After the Application is approved, the Owner must contact the DRB to schedule a pre-construction meeting, and the Owner and its builder must attend the pre-construction meeting with a representative of the DRB at the Lot. The purpose of this meeting is to review the construction rules and regulations set forth in these Design Guidelines.

6.2 NOTICE OF CONSTRUCTION

At least seven days before beginning construction on the approved improvements, the Owner must provide the DRB with a written notice of construction. This notice must include a construction schedule and the contact information of the Owner, builder, construction supervisor (and other necessary individuals, as requested by the DRB).

6.3 CONSTRUCTION OBSERVATION

The DRB may, but is not obligated to, make periodic visits to the construction site to observe compliance with the approved Application and these Design Guidelines. The DRB may require that construction cease until all violations are cured, without liability to the DRB for any resulting delays in construction. The DRB may also report any violations to the Board, which may fine the violator in accordance with Section 7 of these Design Guidelines.

6.4 FOUR-WAY INSPECTION MEETING

Upon completion of framing, HVAC, plumbing, and electrical, the Owner (or its builder) must contact the DRB to schedule a meeting at the Lot with a representative of the DRB. The purpose of this meeting is to review the exterior material choices and colors, along with the landscaping plan.

6.5 CONSTRUCTION REGULATIONS

During construction, the Owner and its builders and contractors must strictly comply with the following regulations and will be responsible for ensuring compliance by their respective employees and contractors:

1. The Owner and its builder must satisfy all requirements of the County Building Inspection Department and the requirements of any applicable public and private utilities including Wolf Creek Water Company, Wolf Creek Sanitary Sewer District, and Wolf Creek Water Conservancy for the hook-up of water, sewer, power, gas, telephone, and any temporary use of such services. The use of jumpers, secondary connections, or fire hydrant tampering for the use of water during construction is prohibited.

2. Portable chemical toilet facilities must be in place at the time construction begins and must be placed within the limits of disturbance. Such facilities must be serviced regularly, must be secured against high winds, may not be stored on the shoulder of the road, and must be removed when construction is completed or construction is halted for more than 30 days.

3. During construction, dumpsters or trash containers must be maintained on the Lot within the limits of disturbance and must be covered at all times. Such facilities may not be stored on the shoulder of the road without prior written approval from the DRB. At all times the builder will keep the construction site clean and free of rubbish and debris, and rubbish or debris may not be stockpiled outside of the dumpster. These facilities must be emptied regularly, serviced as needed, and removed when construction is completed or construction is halted for more than 30 days.

4. Construction materials may not be stored on roads or shoulders of roads. All construction materials and equipment must be stored within the limits of disturbance on the Lot.

5. No construction work may start before 7:00 a.m. or continue after 7:00 p.m. No construction work may be conducted on Sundays or on the following holidays: Christmas, New Year's Eve, Memorial Day, Labor Day, and Thanksgiving. Interior finish work will be allowed after hours, but only with written approval of the DRB.

6. Concrete trucks will not be allowed to wash out on roads or shoulders of roads in the Resort. The builder will be responsible for providing a wash site for the trucks within the limits of disturbance, and will be responsible for ensuring that the material washed from the trucks does not leave the limits of disturbance.

7. All construction-related deliveries will take place during the permitted construction hours listed in paragraph 5. All loading, unloading and hauling on roads will comply with County ordinances. Builders must post signage and employ flaggers during staging that occupies more than 1/3 of the width of the road.

8. County dust and noise abatement ordinances and dust and noise regulations established by the DRB from time to time will be observed during construction.

9. Construction equipment and vehicles (including employee vehicles) may be parked only within areas designated by the DRB. Overnight parking is prohibited. Vehicles parked in violation of this paragraph will be towed at the vehicle owner's expense.

10. No pets are allowed on the construction site.

11. Possession of firearms or hunting within the Resort is prohibited.

12. The construction site will be maintained, and excavation and grading will be carried out, in accordance with County ordinances, so as not to impact adjacent property.

13. Silt fencing must be properly installed around the perimeter of the Lot (except in the front yard) before construction begins, to provide erosion control and to confine construction materials within the limits of disturbance of the Lot.

14. Snow may not be removed from the construction site and placed on adjacent property. Snow lying in areas outside the limits of disturbance on a Lot may not be removed.

15. Builders will clean up debris that accumulates on adjacent property as a result of the builder's construction activities. The DRB may at any time require reasonable expanded site cleanup, including roads, open spaces, and trails adjacent to the construction site.

16. All road regulations will be strictly enforced as posted.

17. All construction signage will comply with County ordinances and these Design Guidelines. Any construction signage that does not comply may be removed by the DRB at the expense of the person who installed the sign.

18. At no time will the removal or modification of the following items be allowed: roads, curbs, road shoulders, guardrails, tunnels, bridges, welded wire walls, fences, utilities, and landscaping. The Owner will be responsible for any damage to these items resulting from construction activities on its property.

6.6 CONSTRUCTION COMMENCEMENT AND COMPLETION REQUIREMENTS

If construction does not commence (defined as footings and foundations poured or otherwise installed) on a project for which plans have been approved by the DRB within one year after the date of approval, such approval shall be deemed withdrawn and it shall be necessary for the Owner to reapply for approval before commencing any activities. Once construction is commenced, it shall be diligently pursued to completion.

All work shall be completed within one year of commencement unless otherwise specified in the notice of approval or unless the DRB grants an extension in writing, which it shall not be obligated to do. If approved work is not completed within the required time, it shall be considered nonconforming and shall be subject to enforcement action.

7. SCHEDULE OF FINES

Pursuant to Section 7.4 of the Master Declaration, the following infractions by an Owner, its builder, contractor, subcontractor, or their respective employees working on construction sites at the Resort will be subject to the following fines. Fines may be assessed as a Specific Assessment against the Owner and its Lot. Fines may also be deducted from the Owner's Deposit. All fines will be assessed by the Wolf Creek Master Association Board of Directors in accordance with the procedures set forth in the Association's By-Laws and in accordance with the requirements of Utah Code § 57-8a-208, as amended. This fine schedule may be revised by the Board in its sole discretion from time to time, and each person subject to these Design Guidelines will be responsible for obtaining the most recent version of the fine schedule.

<u>Violation/Infraction</u>	<u>Fines</u>
Failure to build per DRB-approved plans	\$500 per day
Failure to complete project including landscaping within two years from start of construction	\$500 per day
Concrete wash-out anywhere outside of Lot	\$500 plus cleanup cost
Damage to roads during construction	\$500 plus cost of repair
Damage to water or sewer system during construction	\$500 plus cost of repair
Damage to adjacent property during construction	\$500 plus cost of repair
Failure to control dust during construction	\$500 plus cost of cleaning exterior of neighboring homes
Improper disposal of construction materials	\$400 plus cost of disposal
Storage of construction material or equipment on roads	\$200 per day
Failure to properly install silt fence around perimeter of Lot	\$100 per day

No portable toilets on construction site	\$100 per day
Speeding on roads	\$50 per infraction
Nuisance infraction: Includes, without limitation, excessive noise on construction site, construction before or after permitted construction hours, allowing pets on construction site	\$50 per infraction
Failure to maintain dumpster or trash container on construction site	\$25 per day
Construction material blowing off construction site	\$25 per infraction